



OAKM-017 Elevations And Floor Plans (002).pdf

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# PROPOSED DWELLING PLANS LAND ADJ TO HEATHLEA, SANDY LANE

SCALE 1:100 @ A1

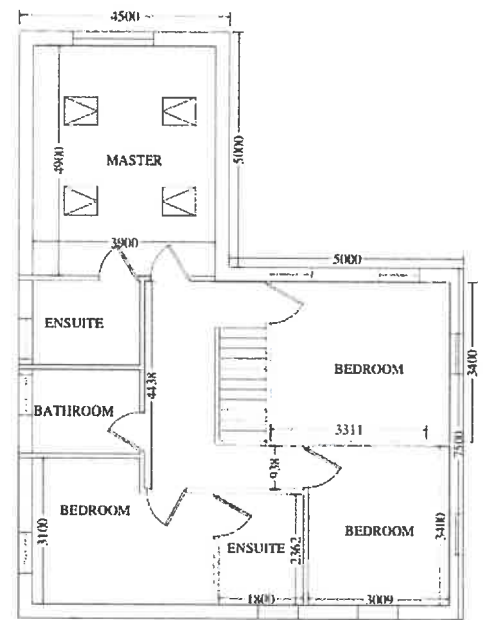
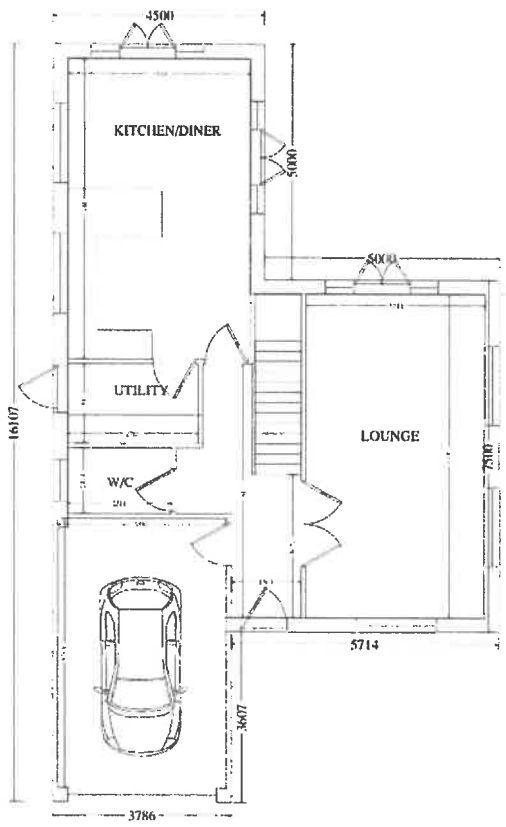


PROPOSED SIDE ELEVATION  
1:100 @ A1

PROPOSED FRONT ELEVATION  
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PROPOSED REAR ELEVATION  
1:100 @ A1

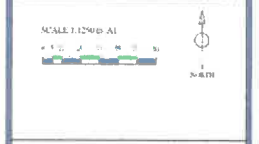
PROPOSED SIDE ELEVATION  
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REVISION NOTES	
NO.	DESCRIPTION

EXISTING LOCATION PLAN 1:1250 @ A1



- STAGE
- PRE-APPLICATION
  - LAND DEVELOPMENT
  - PLANNING APPLICATION
  - CONDITIONS
  - BUILDING CONTROL
  - AS-BUILT

PROJECT  
LAND ADJACENT TO HEATHLEA,  
SANDY LANE,  
LEIGHTON BUZZARD

DRAWING NUMBER	OAKM-017
DATE	28/07/2019
SCALE	STATED @ A1
SHEET NUMBER	1 OF 2
DRAWN BY	HD
CHECKED BY	MD

REVISION  
CLIENT  
BERT STOVELL

DRAWING TITLE  
PROPOSED ELEVATIONS  
FLOOR PLANS



1st submission  
4 Bed - Rejected  
CB/19/02833



REVISED OAKM-017 Land East Of Heathlea Sandy Ln Leighton Buzzard.pdf

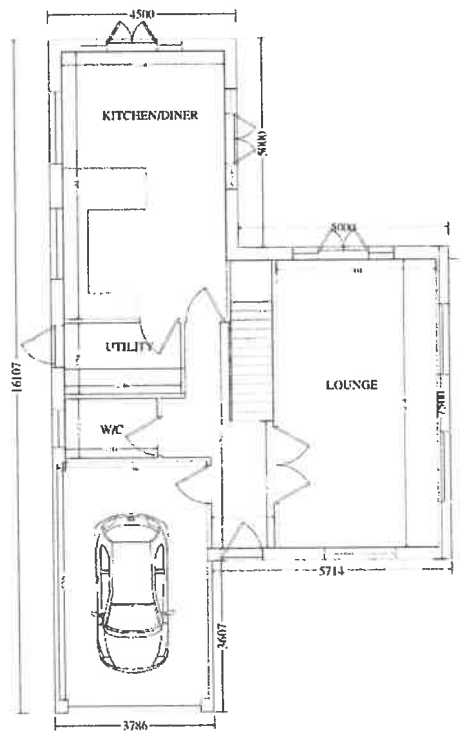
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CB/19/02833 Key: See Plans to 3 Bed - Granted

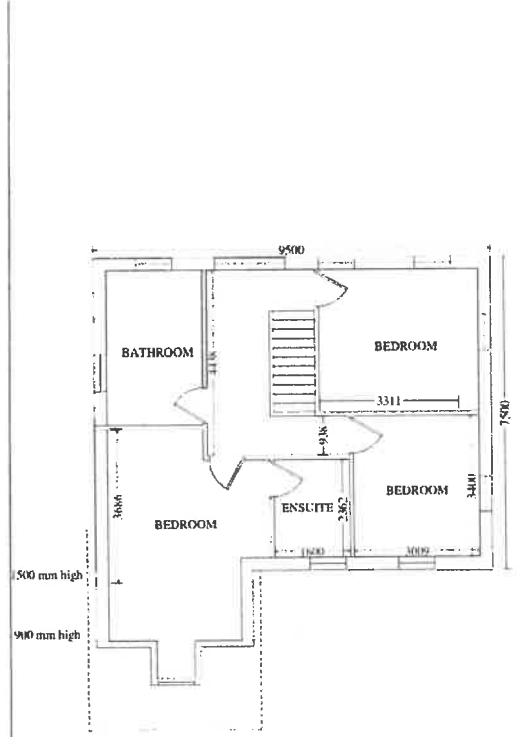
# PROPOSED DWELLING PLANS LAND ADJ TO HEATHLEA, SANDY LANE



PROPOSED SIDE ELEVATION 1:100 @ A1      PROPOSED FRONT ELEVATION 1:100 @ A1      PROPOSED REAR ELEVATION 1:100 @ A1      PROPOSED SIDE ELEVATION 1:100 @ A1



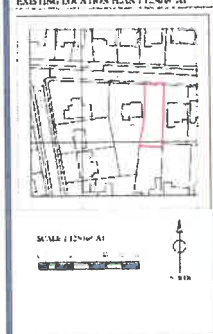
PROPOSED GROUND FLOOR PLAN 1:50 @ A1



PROPOSED FIRST FLOOR PLAN 1:50 @ A1

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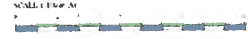
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DRAWING TITLE: PROPOSED ELEVATIONS FLOOR PLANS



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Plans, Proposed - 05.06.2020.pdf

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# PROPOSED DWELLING PLANS LAND ADJ TO HEATHLEA, SANDY LANE

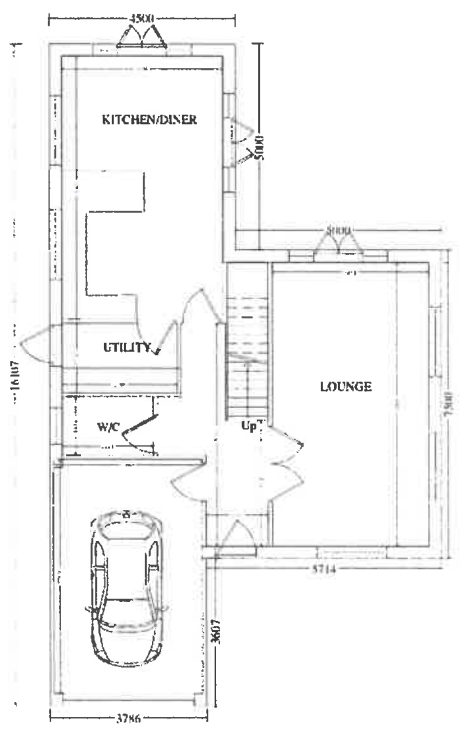


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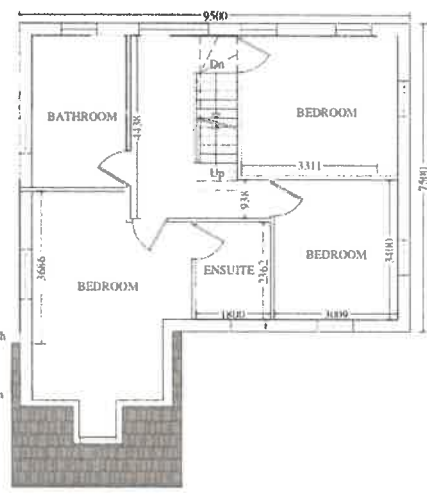
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1:100 @ A1

PROPOSED REAR ELEVATION  
1:100 @ A1

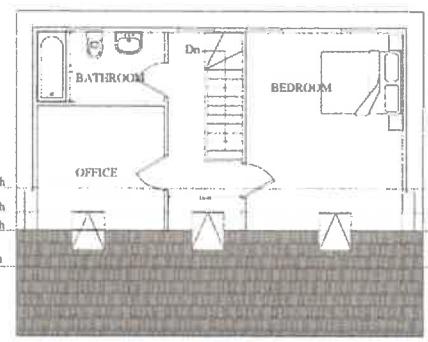
PROPOSED SIDE ELEVATION  
1:100 @ A1



PROPOSED GROUND FLOOR PLAN 1:50 @ A1



PROPOSED FIRST FLOOR PLAN 1:50 @ A1



PROPOSED LOFT PLAN 1:50 @ A1

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REVISIONS	
NO.	DESCRIPTION
1	ISSUED FOR PERMIT
2	ISSUED FOR PERMIT

EXISTING LAYOUT PLAN 1:250 @ A1

SCALE 1:250 @ A1

REVISIONS

- PRE-APPLICATION
- LOCAL DEVELOPMENT
- PLANNING APPLICATION
- CURBING
- BUILDING CONTROL
- JAS BUILD

PROJECT

LAND ADJACENT TO HEATHLEA,  
SANDY LANE,  
LEIGHTON BUZZARD

DRAWING NUMBER 10406007  
DATE 12/04/2020  
SCALE 1:50 @ A1  
SHEET NUMBER 1 OF 2  
DRAWN BY LN  
CHECKED BY MD  
REVISIONS  
CLIENT  
BERT STOVELL

DRAWING TITLE  
PROPOSED ELEVATIONS  
FLOOR PLANS

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CB/20/01849/YOC  
BOX DORMER TO REAR  
3 STORY - Rejected



AA

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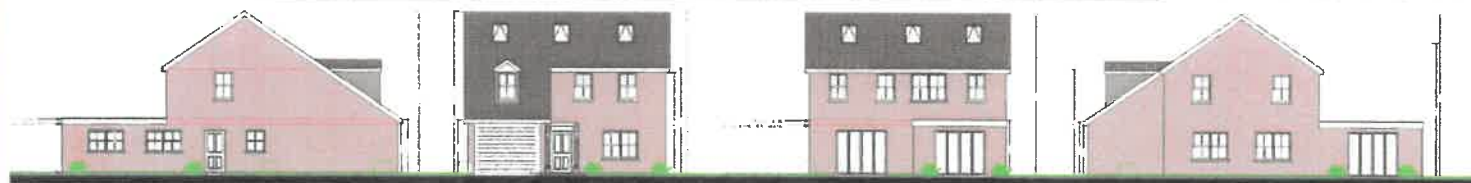
OAKM-17 Revision Rev B.pdf

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# PROPOSED DWELLING PLANS LAND ADJ TO HEATHLEA, SANDY LANE

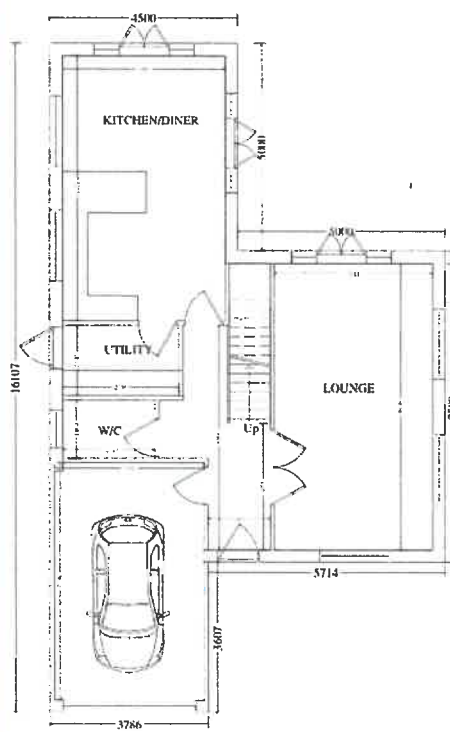


PROPOSED SIDE ELEVATION  
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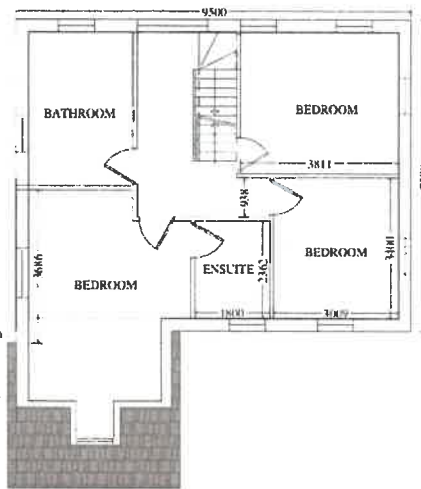
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1:100 @ A1

PROPOSED REAR ELEVATION  
1:100 @ A1

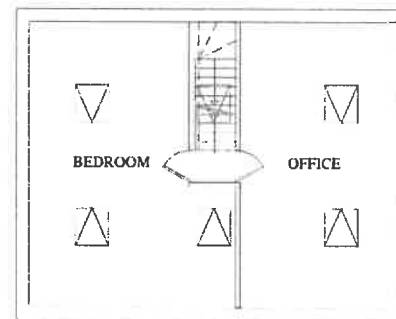
PROPOSED SIDE ELEVATION  
1:100 @ A1



PROPOSED GROUND FLOOR PLAN 1:50 @ A1



PROPOSED FIRST FLOOR PLAN 1:50 @ A1



PROPOSED LOFT PLAN 1:50 @ A1

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REVISIONS NOTE

NO.	DESCRIPTION	DATE
1	ISSUE FOR PERMIT	20/02/2020

EXISTING LOCATION PLAN 1:1250 @ A1



- STAGE
- PRE APPLICATION
  - LAWFUL DEVELOPMENT
  - PLANNING APPLICATION
  - CONDITIONS
  - BUILDING CONTROL
  - AS BUILT

PROJECT  
LAND ADJACENT TO HEATHLEA,  
SANDY LANE,  
LEIGHTON BUZZARD

DRAWING NUMBER	OAKM 017
DATE	20/02/2020
SCALE	STATE @ A1
SHEET NUMBER	1 OF 2
DRAWN BY	LS
CHECKED BY	HD
REVISION	A
CLIENT	BERT STOVELL

DRAWING TITLE  
PROPOSED ELEVATIONS  
FLOOR PLANS



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C.B/20/01849/VOC  
Revised plans  
Box Dormer removed  
2 story - Granted

CB/22/00096/FULL  
3 STORY - DORMER WINDOWS,  
Juliet Balcony  
5 Bedroom - to be decided

The architectural drawings include:

- Elevations:** Proposed front elevation, Proposed rear elevation, Proposed north elevation, Proposed east elevation, Proposed south elevation, and Proposed west elevation.
- Sections:** Proposed section through the house.
- Site Plan:** Shows the house location on a street corner.
- Floor Plans:**
  - Proposed First Floor Plan:** Shows a kitchen, dining room, lounge, and Juliet balcony.
  - Proposed First Floor Plan:** Shows a living area, kitchen, and dining room.
  - Proposed Second Floor Plan:** Shows a bedroom, bathroom, and en-suite.
  - Proposed Third Floor Plan:** Shows a bedroom, bathroom, and en-suite.
- Technical Details:** Includes a 'Building Specifications' table and a 'Notes' section.
- Site Context:** A plan showing the house's position relative to the street and neighboring properties.

The builder/contractor is to check the plan and all dimensions on site at construction stage and before commencement of work. Any errors, omissions or design changes required should be reported immediately to enable amended plans to be submitted to the Local Authority. All work shown on the plans, or any omissions from the design or materials specified, should comply with current building regulations, planning requirements, British Standards and Codes of Practice. The client should check any matters regarding use of the land and that work shown on this plan does not encroach or affect covenants or easements on any boundaries, unless advised. Preparation relating to this Party Wall Act is to be followed where appropriate. Please read conditions before Local Authority approval has been obtained and understand fully as the owner/builder's risk.

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Revision table

Rev A
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Scale bars

Client: Mr Jay

Site Address: Land adjacent to Heathfree, Sandy Lane, Loughton Buzzard, LU7 3BE

Project: Detached Dwelling

Drawing title: Proposed elevations, floor layouts & location plans

**DOMESTIC DESIGNS**  
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Drawing number: DD\_21\_236\_1  
Date: 11.07.2022  
Scale: Various  
Drawn by: JLC  
Checked by: AT

## 5.13 Infills and Backland Development

### 5.13.01

Much of the guidance within this supplement and in particular the Placemaking Principles Supplement relates to larger scale development involving the creation of new street networks and block structures. However, the principles of good urban design/placemaking are just as relevant to small-scale infill development whether it be small plots of vacant land or intensification of existing plots through redevelopment or by developing in the rear gardens of large houses.

### 5.13.02

Whilst there may be a general justification for this approach particularly in small villages where it may help retain or enhance the provision of facilities and shops, redevelopment should not take place at the expense or loss of the positive aspects of the character of the street scene, the area as a whole, or the unacceptable loss of amenity of the original house on the plot, or its neighbours. Any development should enhance the existing positive character

### 5.13.03

The immediate context of the site is therefore critical in the design of these small-scale residential schemes, particularly where development infills within an existing streetscene. The 'area character appraisal template' within the Placemaking Principles Supplement should be used to assess the character of development adjoining the site.

### 5.13.04

The analysis of the immediate area should identify what aspects of the context are important to reflect in the infill development. It may be that there is a uniform use of materials, a consistent building line, or predominant building type.

### 5.13.05

In particular, account should be taken of the existing:

### 5.13.06

#### **Assessing Capacity**

The character of the streetscene, the adjacent residential area, the plot and the house should be appraised to assess the amount, layout and form of development which may be appropriate. Where the site is within a conservation area, these factors will have increased importance. The assessment of capacity should be undertaken in a Design and Access Statement

### 5.13.07

#### **The Streetscene**

Development proposals should take cognisance of existing front boundary treatments and not result in the significant loss of characteristic boundary walls, hedges, gateposts etc, or the creation of new road junctions which result in the unacceptable loss of those features above or which are unacceptable within the terms of 'Manual for Streets'.

### 5.13.08

Development should not result in the 'terracing' of previously freestanding villa-type existing development, where gaps between buildings contribute to the positive character of the streetscene.

### 5.13.09

#### **The Adjacent Residential Area**

The character of the area in terms of continuity of frontage, setbacks, building types, landscape, privacy etc should be considered in the design and layout of new development. Where a rear garden adjoins countryside, the existing character of the interface between the plot and the countryside should influence the amount of proposed development.

## 5.13.10

**Adjacent Buildings**

The scale/plot coverage, height, roofline, materials, fenestration and details should be noted and the proposed development should complement them. New development should:

- Avoid dominating the adjacent buildings
- Respect privacy of adjacent buildings

## 5.13.11

**The Site or Plot**

Existing features on the site or plot, which contribute to area character, especially specimen trees, walls, ponds etc. should be considered as locally distinctive.

## 5.13.12

The setting and amenity of the adjacent house/housing should be established. It is essential that the proposed development does not result in it being cramped or 'hemmed in' by new development. Access and parking should not dominate the scheme.

## 5.13.13

**Indicative Layout Options**

The following three generic approaches to layout design relate to the backland garden of a substantial Victorian house. The plot width is 27 metres and the available plot depth is between 35 and 40 metres. Similar properties are adjacent to the site. The original house faces a southerly direction. The site is flat, with one tree of interest near the existing house. The schemes demonstrate that higher numerical density per site does not always result in higher buildings or loss of privacy.

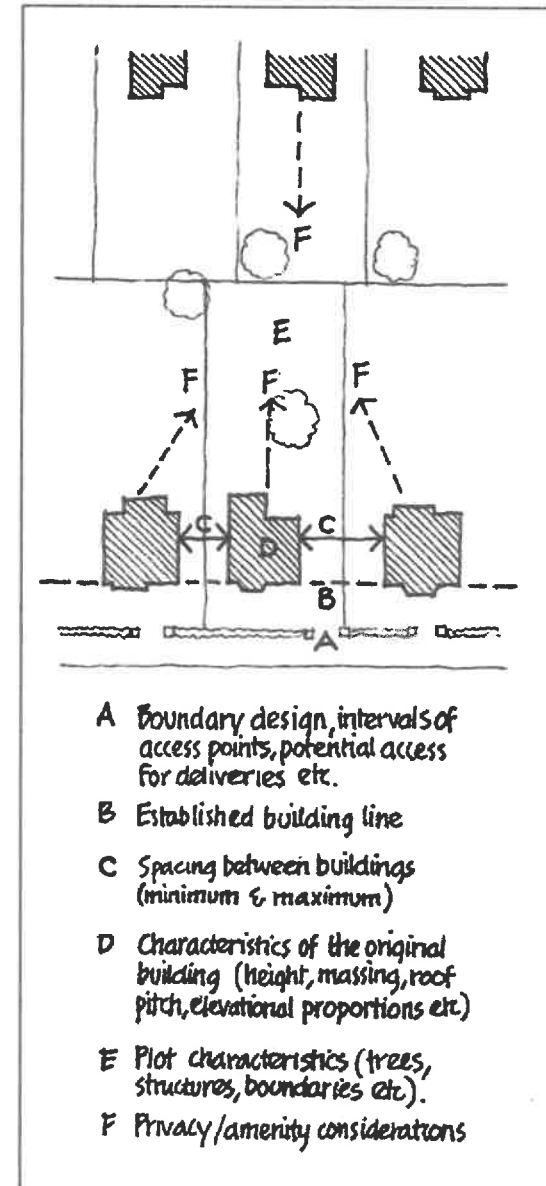


Fig 5.65 Assessing site capacity: some considerations

#### 5.02.03

**Three storey dwellings** and above heights would require an increase in distance if this basic standard was applied.

#### 5.02.04

In higher density areas a more three-dimensional approach to achieving acceptable levels of privacy is required. Effective visual privacy can be achieved through:

- The careful relationship of habitable rooms of a dwelling in relationship to others (either in the proposed scheme or existing neighbours)
- The relationship of one dwelling with another (e.g. at angles to each other)
- The height, size and shape of upper floor windows, compatible with providing means of escape (Building Regulations).
- The use of single aspect or internal courtyard housing units
- The design of screen walls and the specification of tree species to ensure privacy and colour
- The use of garages, bicycle stores and other buildings requiring little or no outlook.

#### 5.02.05

Traditional buildings and layouts found in Central Bedfordshire can provide some useful indications

of established ways in which privacy at relatively high densities have been accomplished, for example the burgage plots in Ampthill and intimate groups of buildings in most small settlements, such as Tebworth, Ridgmont and Clophill.

#### 5.02.06

Aural privacy is a necessity in an environment where domestic music systems and vehicle noise can be a nuisance.

#### 5.02.07

Density of wall construction, double or triple-glazing, and the absorbency of external materials (trees, planting and timber finishes) can all help to ameliorate the worst aspects of noise transmission.



Fig 5.02 Achieving privacy and defensible space in higher density housing (Linslade)

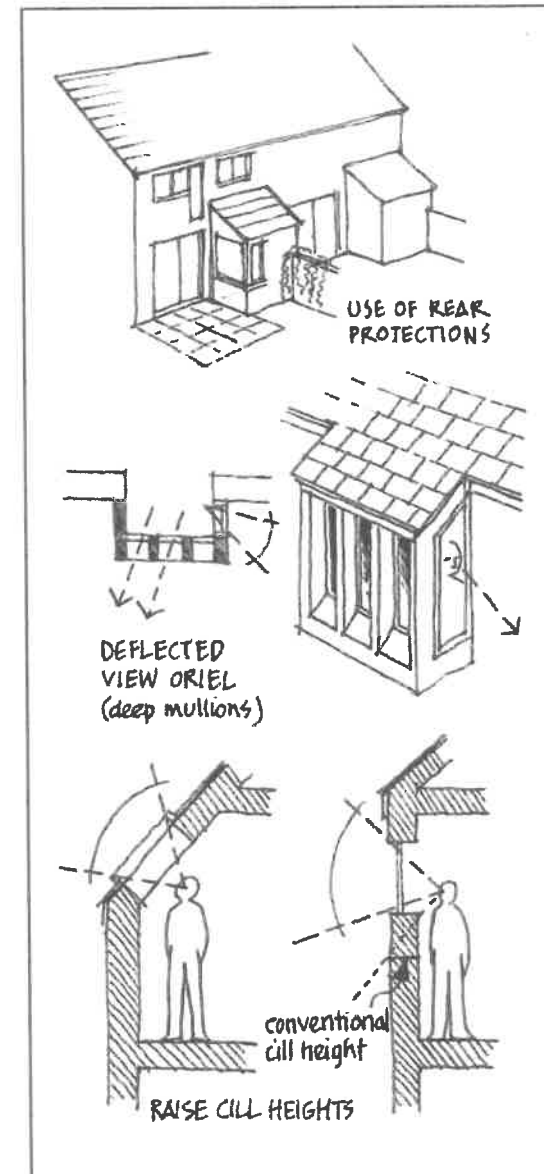


Fig 5.03 Some methods of achieving privacy through design



## 5.06 Gardens and Private Amenity Space

### 5.06.01

It is important for both children and adults to have access to some private or at least, semi-private outdoor space. In the case of non-flatted developments, this can most easily be provided in the form of a private enclosed garden. The provision of a garden also makes it easier to provide outside covered storage for items such as bicycles, garden tools, garden furniture and outdoor toys.

### 5.06.02

A private outdoor space is one which is not overlooked from the street or other public place.

### 5.06.03

In determining the appropriate garden size, consideration should be given to ensuring that the privacy of the dwelling is not compromised through overlooking or overshadowing from adjoining properties. Where gardens include existing mature trees, gardens will need to be larger to provide space for trees.

### 5.06.04

**The minimum depth for all rear gardens should be 10m to ensure both that suitable levels of privacy are maintained, and that reasonable sized gardens are created. Wider frontage properties will therefore tend to provide larger gardens. Rear gardens for three and four bedroom homes should ideally be about 100sqm but generally no less than 60sqm.** It is however accepted that garden size will vary according to property size with occupants of smaller homes that may have no children potentially wanting smaller gardens than those with larger homes having more children. The below table outlines a sliding scale for garden sizes based on size of property. These dimensions provide a modestly sized garden but in most cases can accommodate a sitting out area, clothes drying area, small shed and area of play as well as space to plant shrubs and small trees. To accommodate these items, they should not be awkwardly shaped or very narrow. For example, where a garden tapers to a narrow point and the plot size is not yet fixed, it will be necessary to compensate for the loss of area by extending the length of the garden. Similarly minimum areas should include side gardens to account for awkwardly shaped plots where the garden can't be lengthened.

### Private garden requirements for houses

Number of Bedrooms	Minimum areas (m <sup>2</sup> ) based on 5m width	Minimum depth (m)
2	50	10
3+	60	12

Ideally both the minimum area and minimum depth should be met. It is however recognised that in certain circumstances, such as infill sites, this may not be possible. In these cases one of the standards should be met as a minimum.

### 5.06.05

Gardens should be designed to ensure that they receive afternoon sun. Consequently, north-facing gardens may need to be longer than south-facing gardens. Alternatively, front gardens which face south, need to be longer to enable sitting usage in the sunlight.

### 5.06.06

An individual private garden should preferably include an area which is not directly overlooked by other residents this is usually referred to as the 'patio area'.

**5.12.27**

Living Roofs can provide many environmental benefits including thermal insulation and biodiversity and so should be considered. Further guidance can be found at [www.livingroofs.org](http://www.livingroofs.org)

**5.12.28**

Pitched roofs which over-dominate the building should be avoided.

**5.12.29**

A series of detached or terraced houses with each individual roof turned through 90 degrees so that a gable end fronts the street should be considered. This not only creates a more interesting building frontage and street scene, but it can also provide additional enclosure to a street through the extra attained height.

**5.12.30**

Similarly, mono-pitch roofs which have their tall side facing the street can provide verticality onto a street that requires a greater presence.

**5.12.31**

Monopitch roofs also provide a greater roof area for the inclusion of Photovoltaics.

**5.12.32**

While lengthy stretches of pitched roof on terraces at the same ridge height must be avoided they must not be over complicated. The massing of roof forms can be broken by vertical protrusions

through the eaves into the roof. Variations of the conventional pitch form to a projecting bay should be considered.

**5.12.33**

Careful consideration must be given to the use of dormers. They can clutter the roofscape and spoil the proportions of the building if they are used excessively, or made too large and over-complicated in design. Conversely a well-designed dormer can add interest and quality to the building.

**5.12.34****Chimneys**

Chimneys should be provided on traditional house styles as they are the sort of detailing that enlivens roofscapes, and enhances the overall quality of houses.



**Fig 5.63** Buildings with prominent gable ends creating a strong character (Tilia Place, Dunstable)

**5.12.35****Balconies**

Balconies can provide an important external amenity area for apartments and can add interest to an elevation but care needs to be taken that firstly, they maintain the privacy of nearby properties and secondly, to ensure they do not overly clutter the elevation. In this regard they should be recessed or cantilevered (rather than be supported by an external frame). If external frames are the only viable option, care needs to be taken that they complement the overall elevation design and are not seen as a 'bolt-on' that clutters the elevation.



**Fig 5.64** The use of a mono-pitched roof adds character to this development (Sandringham Drive, Dunstable)